





**FIELD NOTES**

**BEING A 1.4880 ACRE(1.49) TRACT OUT OF THE JOHN APPLGATE SURVEY IN TRAVIS COUNTY, TEXAS, BEING THE SAME 1.49 ACRE TRACT CONVEYED TO THE SMITHERS FAMILY PARTNERHSIP BY DEED RECORDED IN VOLUME 9496, PAGE 116, REAL PROPERTY RECORDS, TRAVIS COUNTY, TEXAS, MORE PARTICULARY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:**

**BEGINNING** at a 1/2" iron rod with found in the NE line of Neans Drive at the SW corner of Lot 23, Block A, Neans Place Section 1, a subdivision in the City of Austin, Travis County, Texas, according to the map or plat thereof recorded in Book 6, Page 173, Plat Records, Travis County, Texas, same being the SW corner of a 1.4880 acre(1.49) tract out of the John Applegate Survey, conveyed to Smithers Family Partnership by deed recorded in Volume 9496, Page 116, Real Property Records, Travis County, Texas, for the SW corner hereof;

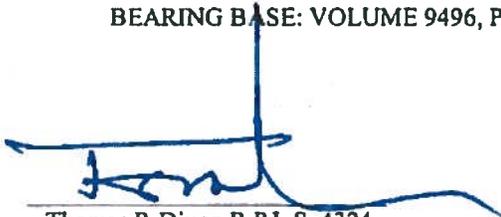
**THENCE** N27°53'04"E along said common line of the Smithers tract and said Lot 23 for a distance of 159.38 feet to the NW corner of the herein described tract, also being in the SW line of Lot 4, Block E, North Meadows, a subdivision in Travis County, Texas according to the map or plat thereof recorded in Book 40, Page 26, Plat Records;

**THENCE** S59°50'00"E along said SW line for a distance of 406.27 feet to a 1/2" iron rod in the West Right Of Way of South Lamar Boulevard;

**THENCE** S27°00'00"W for a distance of 159.38 feet to a 1/2" iron rod in the SE line of the herein described tract, same being the intersection of North Lamar Boulevard and Neans Drive

**THENCE** N59°54'00"W along the East Right Of Way of Neans Drive for a distance of 408.73 feet to the **POINT OF BEGINNING** of this 1.4880 acre tract;

**BEARING BASE:** VOLUME 9496, PAGE 116, DEED RECORDS, TRAVIS COUNTY, TEXAS.



9/14/16  
Date

Thomas P. Dixon R.P.L.S. 4324  
Waterloo Surveyors, Inc.  
P.O. Box 160176  
Austin, Tx 78716  
(512) 481-9602  
T.B.P.L.S. FIRM#10124400



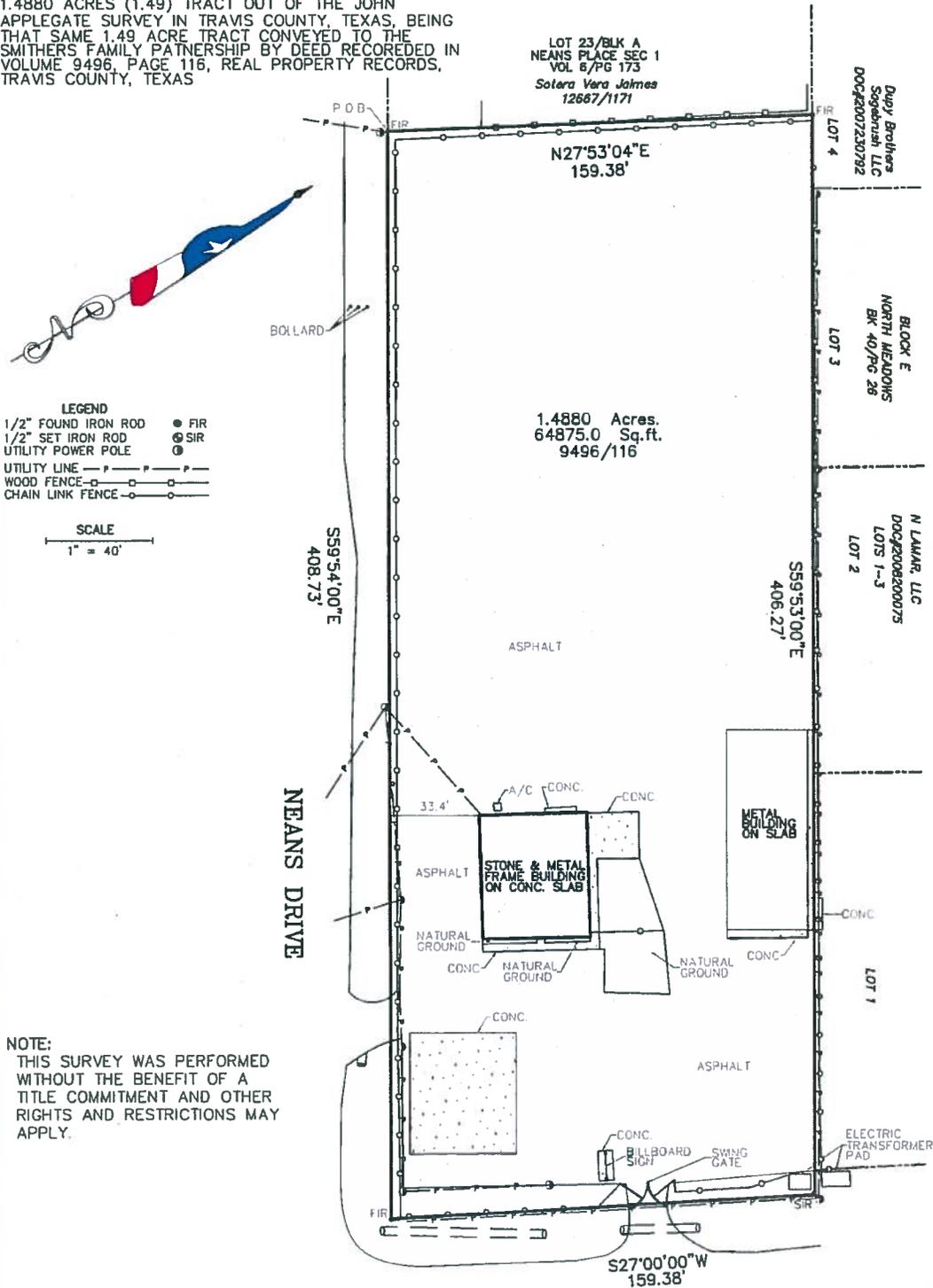
**REFERENCES**

TCAD Parcel No.252277  
AUSTIN GRID 496 ML-31

OWNER:  
 BEN SMITHERS  
 ADDRESS:  
 10400 N. LAMAR BLVD.  
 LEGAL:  
 1.4880 ACRES (1.49) TRACT OUT OF THE JOHN  
 APPLIGATE SURVEY IN TRAVIS COUNTY, TEXAS, BEING  
 THAT SAME 1.49 ACRE TRACT CONVEYED TO THE  
 SMITHERS FAMILY PARTNERSHIP BY DEED RECORDED IN  
 VOLUME 9496, PAGE 116, REAL PROPERTY RECORDS,  
 TRAVIS COUNTY, TEXAS

Waterloo Surveyors Inc.  
**SURVEY PLAT**

J14787FINAL



**LEGEND**  
 1/2" FOUND IRON ROD ● FIR  
 1/2" SET IRON ROD ○ SIR  
 UTILITY POWER POLE ⊙  
 UTILITY LINE ————  
 WOOD FENCE —○—○—  
 CHAIN LINK FENCE —○—○—

**SCALE**  
 1" = 40'

**NOTE:**  
 THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE COMMITMENT AND OTHER RIGHTS AND RESTRICTIONS MAY APPLY.

State of Texas:  
 County of Travis:

**N. LAMAR BLVD.**

The undersigned does hereby certify that this survey was this day made on the property legally described hereon and is correct, and this survey substantially complies with the current Texas Society of Professional Surveyors Standards and Specifications for a Category 1B Condition II Survey.

And I certify that the property shown hereon IS NOT within a special flood hazard area as identified by the Federal Insurance Adm. Department of HUD Flood hazard boundary map revised as per Map Number: 48453C0455J  
 Zone: "X" Dated: JANUARY 8, 2018

Dated this the 8TH day of AUGUST, 2018.



*Thomas P. Dixon*

Thomas P. Dixon R.P.L.S. 4324



-  Subject Tract
-  Pending Case
-  Zoning Boundary
-  Railroads



1" = 200'

### ZONING

ZONING CASE#: C14-2016-0032



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by CTM for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.